

# REPORT TO COUNCIL



**Date:** 7/3/2014  
**RIM No.** 1250-30  
**To:** Community Heritage Commission  
**From:** Urban Planning (AW)  
**Application:** OCP14-0013 / Z14-0027 / HAP14-0009      **Owner:** Dr. Heather Martin  
City of Kelowna  
**Address:** 310 & 320 Strathcona Avenue      **Applicant:** Meiklejohn Architects  
**Subject:** OCP Amendment, Zone Amendment and HAP Applications

**Existing OCP Designation:** Educational / Major Institutional  
**Proposed OCP Designation:** Health District  
**Existing Zone:** P1 - Major Institutional  
RU1 - Large Lot Housing  
**Proposed Zone:** HD2 - Hospital and Health Support Services

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## 1.0 Purpose

To consider the proposed OCP and Zone Amendment and Heritage Alteration Permit in order to accommodate a 3.5 storey mixed use health services building.

## 2.0 Urban Planning Department

The proposed land use is comparable to what could be located on the subject properties should they be redeveloped as designated, although the project would be private rather than an institutional development. The P1 zone is intended for institutional uses and may not be the best fit or transitional use for the subject properties, especially now that they are to be privately owned. The original intent and reason for the Educational / Major Institutional designation was that the Interior Health Authority would eventually grow the KGH campus further west. As this is no longer the case it makes more sense that they be re-designated and rezoned to allow for a mixed use health services project to support KGH uses and users.

For a number of years the subject properties have been designated for a higher form of development but they also stayed in the Heritage Conservation Area to recognize the existing context and single family dwelling character. As this area transitions towards its designated purpose it would make sense to revisit the Abbott Street Heritage Conservation Area boundary as it relates to the Educational / Major Institutional designated properties shown on the subject property map below. The City's Policy & Planning Department will take this area under consideration with Phase II of the Hospital Area Plan and will report back to the CHC as that project moves forward.

Overall the form and character of the proposed development is a good fit for the area and will help to transition from the KGH’s institutional form to a project that has a softer edge and more residential elements. The materials and design detail should fit well within neighbourhood while providing important support services to the KGH campus. Staff would have preferred if the exposed parking structure wasn’t pushed out the minimum setbacks and varied to the east, we will be looking to the applicant for design improvements to help soften this potentially hard interface.

### 3.0 Proposal

#### 3.1 Background

At the May 29<sup>th</sup>, 2012 meeting Council approved rezoning 320 Strathcona Avenue to P1 - Major Institutional in order to convert the existing single family to a doctor’s office.

#### 3.2 Project Description

The subject properties are designated Educational / Major Institutional in the 2030 OCP and are next to the Kelowna General Hospital and directly adjacent to the Cancer Lodge. The project contemplates amending the OCP to Health District and to rezone to the HD2 zone to accommodate the proposed development. As the subject property is located in the Abbott Street Heritage Conservation Area, a Heritage Alteration Permit is required for the project. Neither property is located on the Heritage Register.

The southwest corner is the main feature of the proposal as it is the most prominent exposure and the anchor for the design. The building facade steps back from the street at both the first and fourth floors, this helps to break down the massing and scale of the project. The main portion of the building containing restaurant and health services steps back from the under-building parking structure with a patio. The fourth floor residential units steps back with decks framed with wood trellises. The building fronts both Strathcona Avenue and Abbott Street with masonry facades. The proposed development contemplates a few variances, the project compares to the HD2 zone as follows:

Zoning Analysis Table		
CRITERIA	HD2 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	1.2	1.08
Height	16.5 m	13.26 m / 3.5 storeys
Front Yard (south)	1.5m parkade with landscaped berm 4.5 m	1.5 m to parkade 4.5m to building
Side Yard (east)	1.5m parkade with landscaped berm 4.5 m - Building	1.5 m to parkade 4.5m to building
Side Yard (west)	1.5m parkade with landscaped berm 4.5 m - Building	0.3 m to parkade <span style="color: red;">❶</span> 4.5m to building
Rear Yard	3.0 m	3.0 m
Site coverage	55%	54.56%
Other Regulations		
Minimum Parking Requirements	33 stalls	33 stalls
Bicycle Parking	Class I: 5 stalls Class II: 2 stalls	Class I: 7 stalls Class II: 5 stalls
Private Open Space	100m <sup>2</sup>	165m <sup>2</sup>

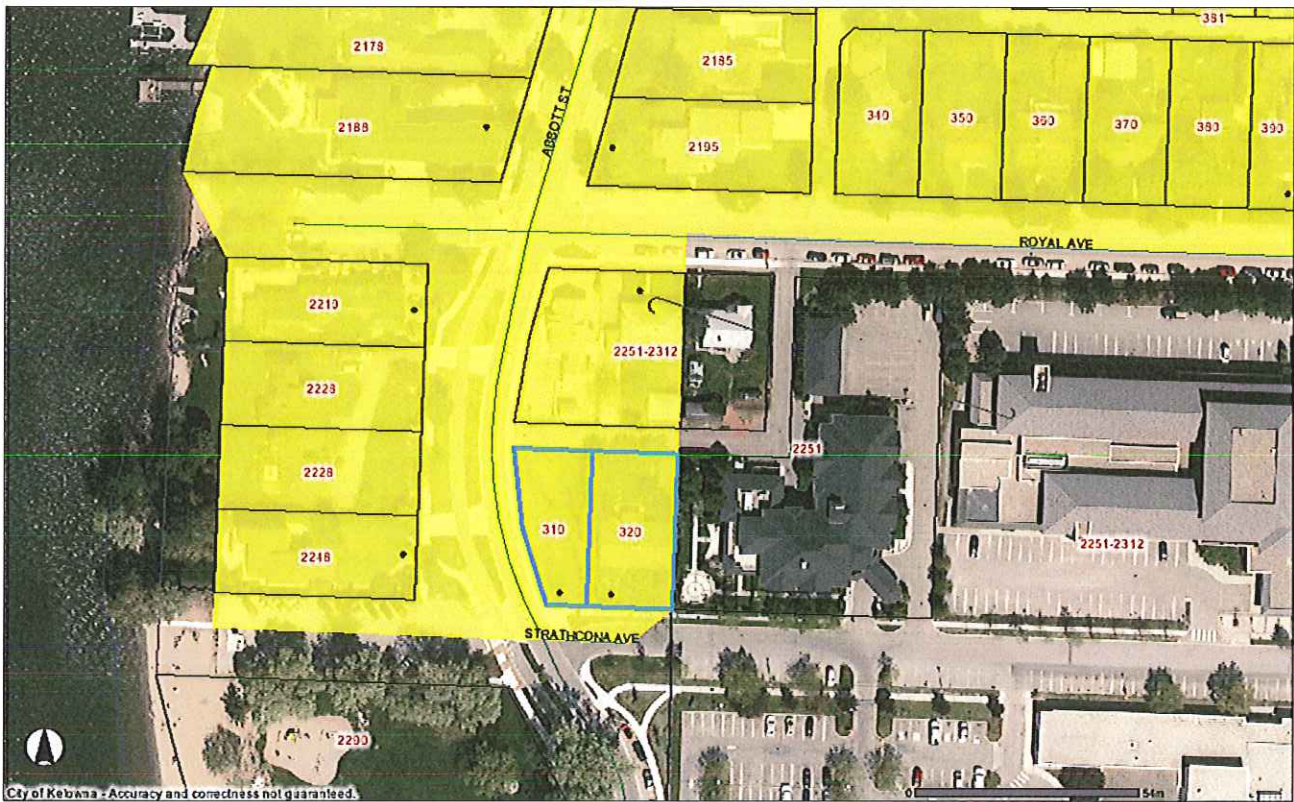
Loading Space	1 stall	0 stalls <sup>e</sup>
<sup>i</sup> Vary the parkade setback from 1.5m required to 3.0m for the western side yard setback. <sup>e</sup> Vary the loading stalls from 1 required to 0 proposed.		

### 3.3 Site Context

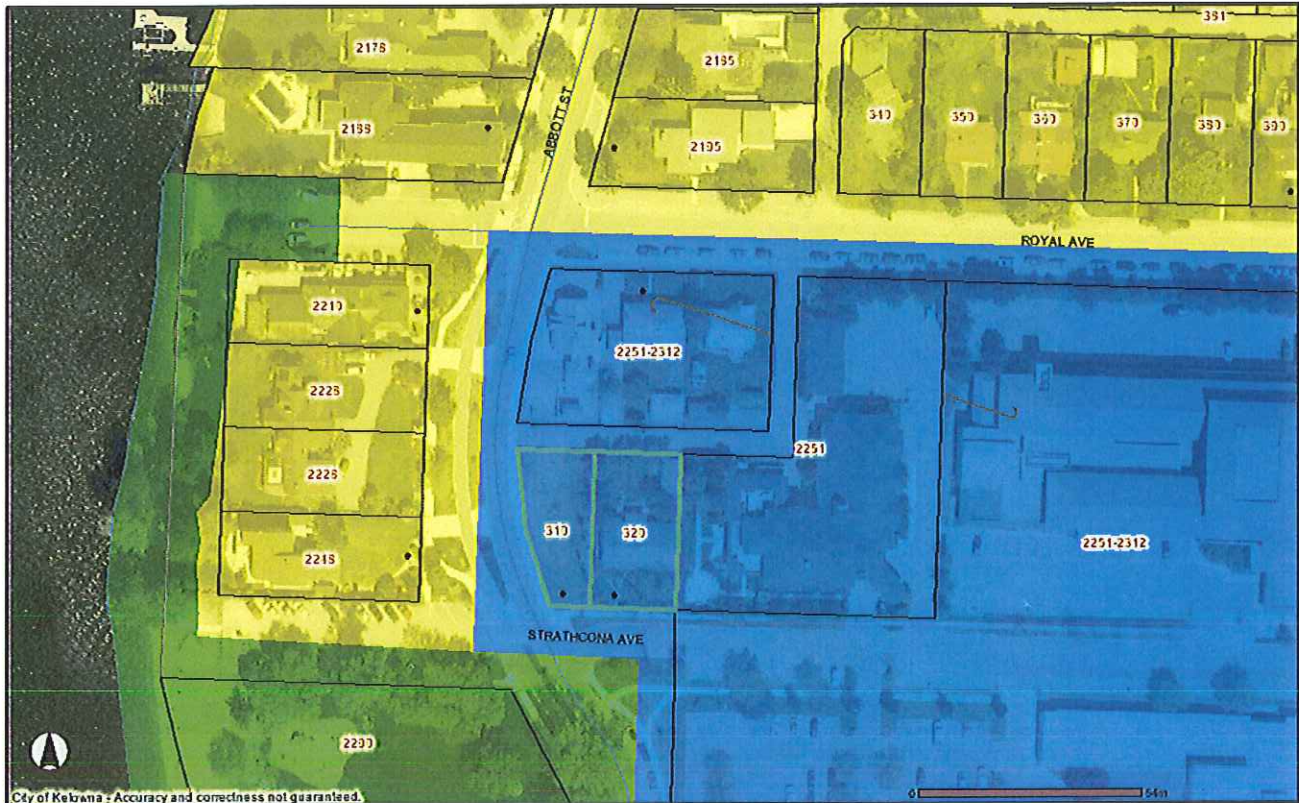
The subject properties are located along Strathcona Avenue directly adjacent to the Cancer Lodge and across from the Kelowna General Hospital. The properties are also located within the Abbott Street Heritage Conservation Area. The adjacent land uses are as follows:

Direction	Zoning Designation	Land Use
North	RU6 - Two Dwelling Housing	Vacant
East	P1 - Major Institutional	Cancer Lodge
South	HD1 - Kelowna General Hospital	Hospital
West	RU6 - Two Dwelling Housing	Vacant

Subject Property Map: 310 & 320 Strathcona Avenue & Heritage Conservation Area



## Subject Property Map: 310 &amp; 320 Strathcona Avenue &amp; OCP Future Land Use



#### 4.0 Current Development Policies

Staff recommends that the applicant's April 16<sup>th</sup>, May 16<sup>th</sup> and May 30<sup>th</sup>, 2013 Public Information Meetings be considered appropriate consultation for the purpose of Section 879 of the *Local Government Act*, and that the process is sufficiently early and does not need to be further ongoing in this case. Furthermore, additional consultation with the Regional District of Central Okanagan is not required in this case.

Staff have reviewed this application, and it may move forward without affecting either the City's Financial Plan or Waste Management Plan.

##### 4.1 Kelowna Official Community Plan (OCP)

##### 4.1.1 Land Use Designations - Educational / Major Institutional (Chapter 4)

Schools, university, colleges, correctional facilities, hospital, fire halls, cemeteries, major government, cultural or recreational facilities, religious assembly and seniors' facilities. Religious assembly uses may include a multiple unit residential component only where the surrounding land uses are designated for similar densities/land uses. Major government, cultural, and recreational facilities may include associated commercial uses.

##### 4.1.2 Urban Design Guidelines (Chapter 14) - Revitalization Development Permit Area

##### Revitalization Design Guidelines

- Use appropriate architectural features and detailing of buildings and landscapes to define area character;

- Convey a strong sense of authenticity through high quality urban design that is distinctive of Kelowna;
- Provide for a scale and massing of buildings that promotes an enjoyable living, pedestrian, working, shopping and service experience;

4.1.2 Heritage Conservation Area Guidelines (Chapter 18)<sup>1</sup>

- Maintain the residential and historical character of the Marshall Street and the Abbott Street Heritage Conservation Areas;
- Encourage new development, additions and renovations to existing development which are compatible with the form and character of the existing context;
- Ensure that change to buildings and streetscapes will be undertaken in ways which offer continuity of the 'sense-of-place' for neighbours, the broader community; and
- Provide historical interest for visitors through context sensitive development.

Report prepared by:



Alec Warrender, Urban Planner

Approved for Inclusion:

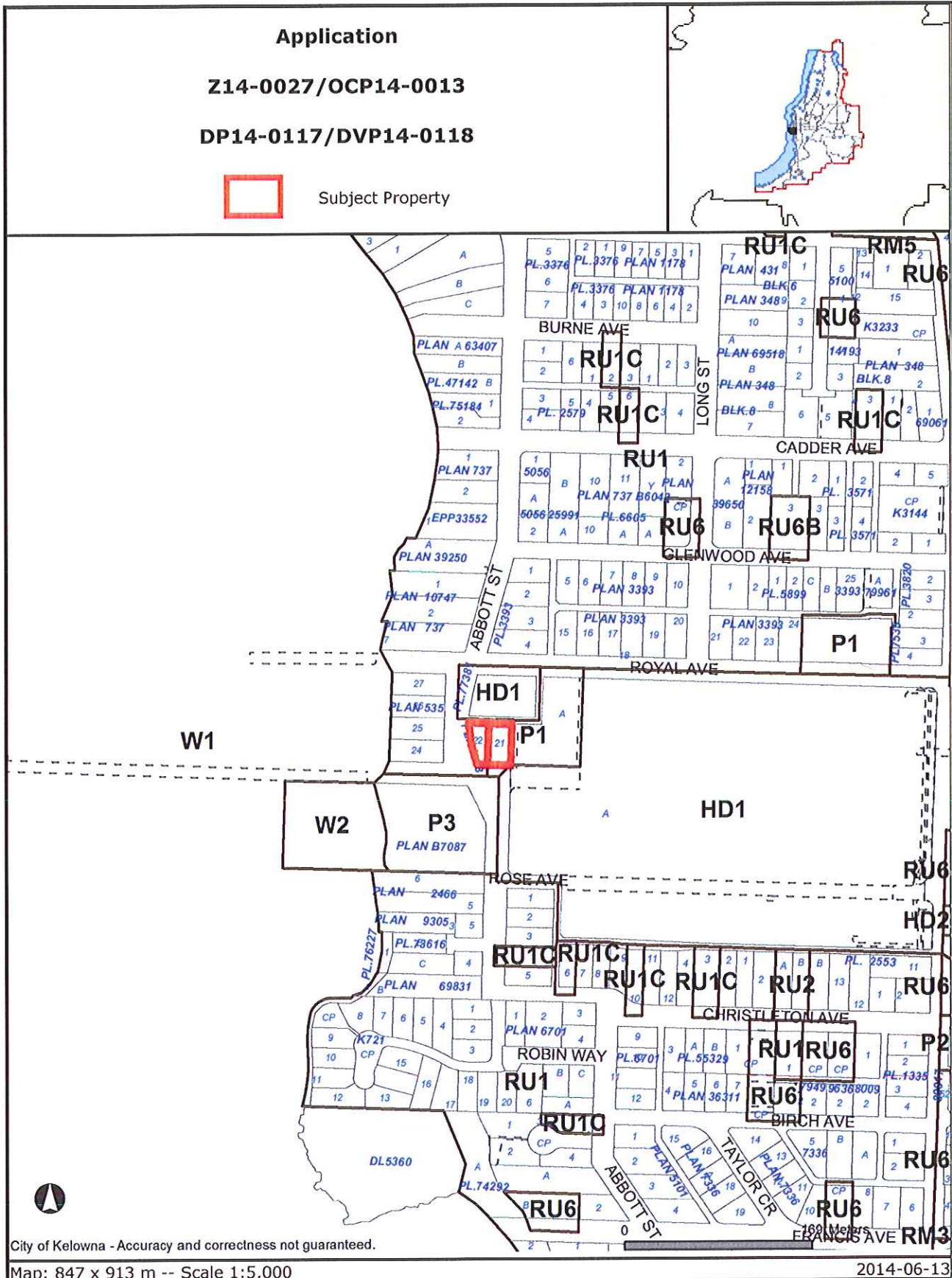


Ryan Smith, Manager, Urban Land Use

Site Plan  
Conceptual Elevations  
Landscape Plan

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<sup>1</sup> City of Kelowna Official Community Plan, Chapter 16



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.

### ZONING SUMMARY - Stratheona mixed-use building

ADDRESS	33020 Stratheona Avenue, Adelphi, VA 22017	PROPOSED ZONE	MIXED USE
LEGAL DESCRIPTION	0.71 AC, 14 COND UNIT RESIDENTIAL, 170,000 sq ft	EXISTING ZONE	RESIDENTIAL
DISTRICT/PROJECT AREA	South Potomac Urban District	PROPERTY	170,000 sq ft
PROPERTY ADDRESS	33020 Stratheona Avenue	PROPOSED ZONE	MIXED USE
OWNER	M&M Development, LLC	EXISTING ZONE	RESIDENTIAL
PROJECT TYPE	170,000 sq ft, 14 cond units, 170,000 sq ft	PROPOSED ZONE	MIXED USE
GENERAL NOTES		PROPOSED ZONE	MIXED USE

### BUILDING AND FLOOR AREAS:

AREA	GFA	GA	TA	GA	GA	TA
Residential	3,720	307	585	585	46	631
Office	5,200	480	1,000	1,000	195	1,195
Retail	7,800	750	1,500	1,500	300	1,800
Garage	6,000	520	3,200	3,200	297	3,497
Other	2,281	207	1,000	1,000	143	1,143
TOTAL	25,000	2,264	10,500	10,500	1,779	12,279

### SPATIAL SEPARATION:

SEPARATION TYPE	SEPARATION TYPE	SEPARATION TYPE
Vertical (Floor Slab)	North	East Wall
Vertical (Roof)	North	East Wall
Vertical (Structural)	North	East Wall
Vertical (Acoustic)	North	East Wall
Vertical (Fire)	North	East Wall

### OCCUPANT LOAD

Room	Occupant Load
2 Apartments	4 persons
170 Units	See Table 3.1.17.1
2 Stairs	See Table 3.1.17.1

### BUILDING CODE REVIEW

Code	Section	Section	Section	Section
Fire Protection	902	903	904	905
Fire Protection	902	903	904	905
Fire Protection	902	903	904	905
Fire Protection	902	903	904	905

### REQUIRED FIRE SEPARATIONS

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### BUILDING FIRE SAFETY

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### WASHROOM FIXTURES REQUIREMENTS

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### ACCESSIBILITY REQUIREMENTS

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### EXIT FACILITIES

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4



Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### PARKING CALCULATIONS

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### BLDG. CODE REQUIREMENTS

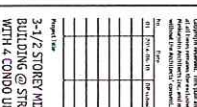
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2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### BLDG. CODE REQUIREMENTS

Item	Section	Section	Section	Section
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2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4

### BLDG. CODE REQUIREMENTS

Item	Section	Section	Section	Section
1st Floor	1.17.1	1.17.2	1.17.3	1.17.4
2nd Floor	1.17.1	1.17.2	1.17.3	1.17.4
3rd Floor	1.17.1	1.17.2	1.17.3	1.17.4







1515 MAIN STREET  
 FREDERICK, M.D.  
 TEL: 301.461.3134  
 FAX: 301.461.3134  
 2133 WOODBRIDGE AVENUE  
 BELLEHAR, M.D.  
 TEL: 301.742.2000  
 FAX: 301.742.2000  
 GUYTON, MARYLAND



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DP submit  
 2014-06-10



TRUE NORTH

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101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120
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Project Title  
 4-STORY MIXED-USE  
 BUILDING @ STRATHCONA  
 WITH 4 CONDO UNITS

115 510 STRATHCONA AVENUE, BELLEHAR, MD 21034

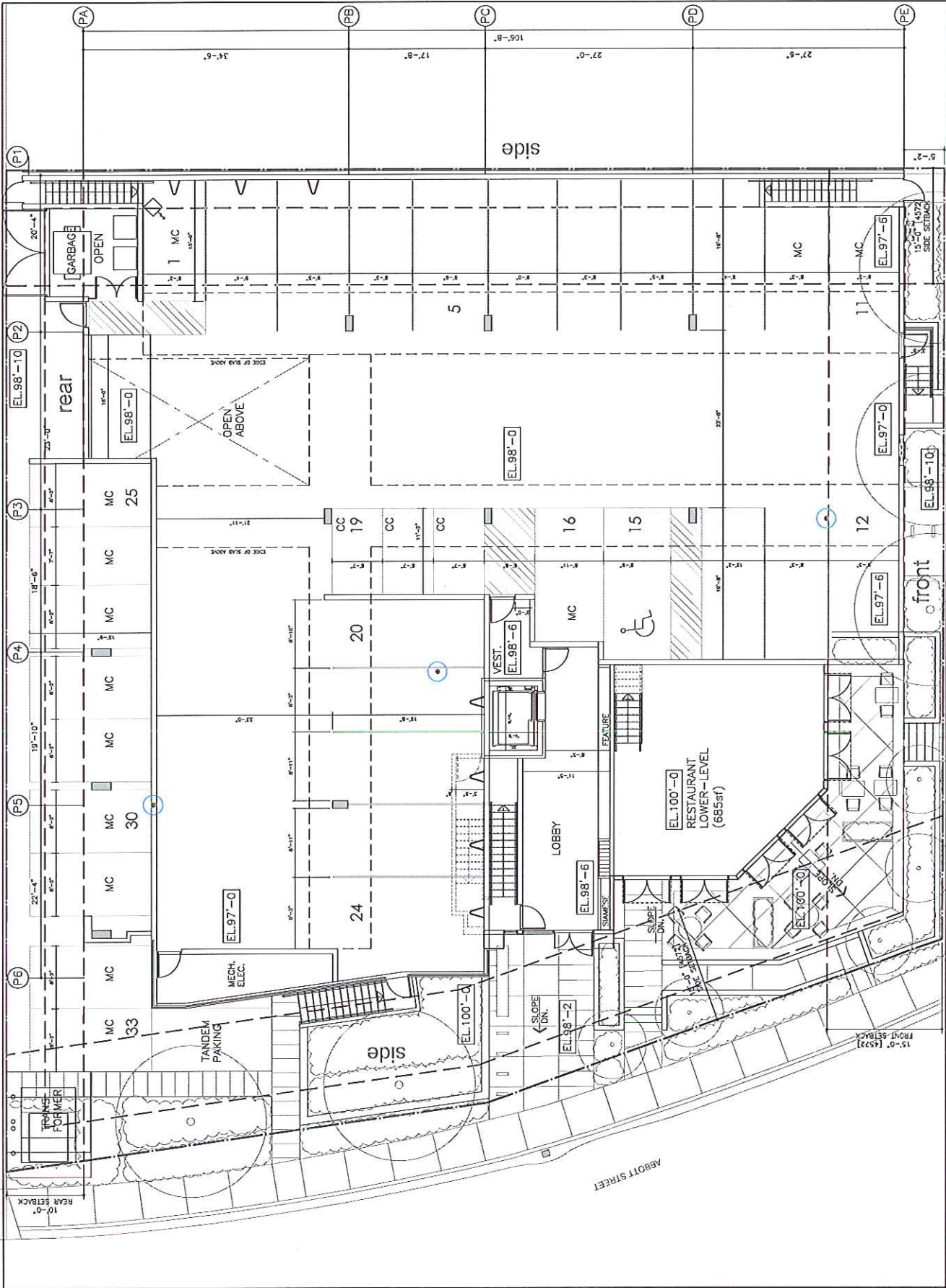
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**A3.01**

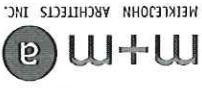
1ST LOWER  
 FLOOR PLAN

Scale 3/16" = 1'-0"

DATE:	10/15/2013
SCALE:	AS SHOWN
DRAWN:	J. L. [Name]
CHECKED:	[Name]



100 W. WASHINGTON STREET  
 APT. 1000, ALEXANDRIA, VA  
 TEL: 703.462.3233  
 FAX: 703.462.3231  
 WWW.M+MARCHITECTS.COM



HEIKKINEN ARCHITECTS INC.  
 213 W. WASHINGTON STREET  
 ALEXANDRIA, VA  
 TEL: 703.742.2000  
 FAX: 703.742.2001  
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No.	DATE	DESCRIPTION

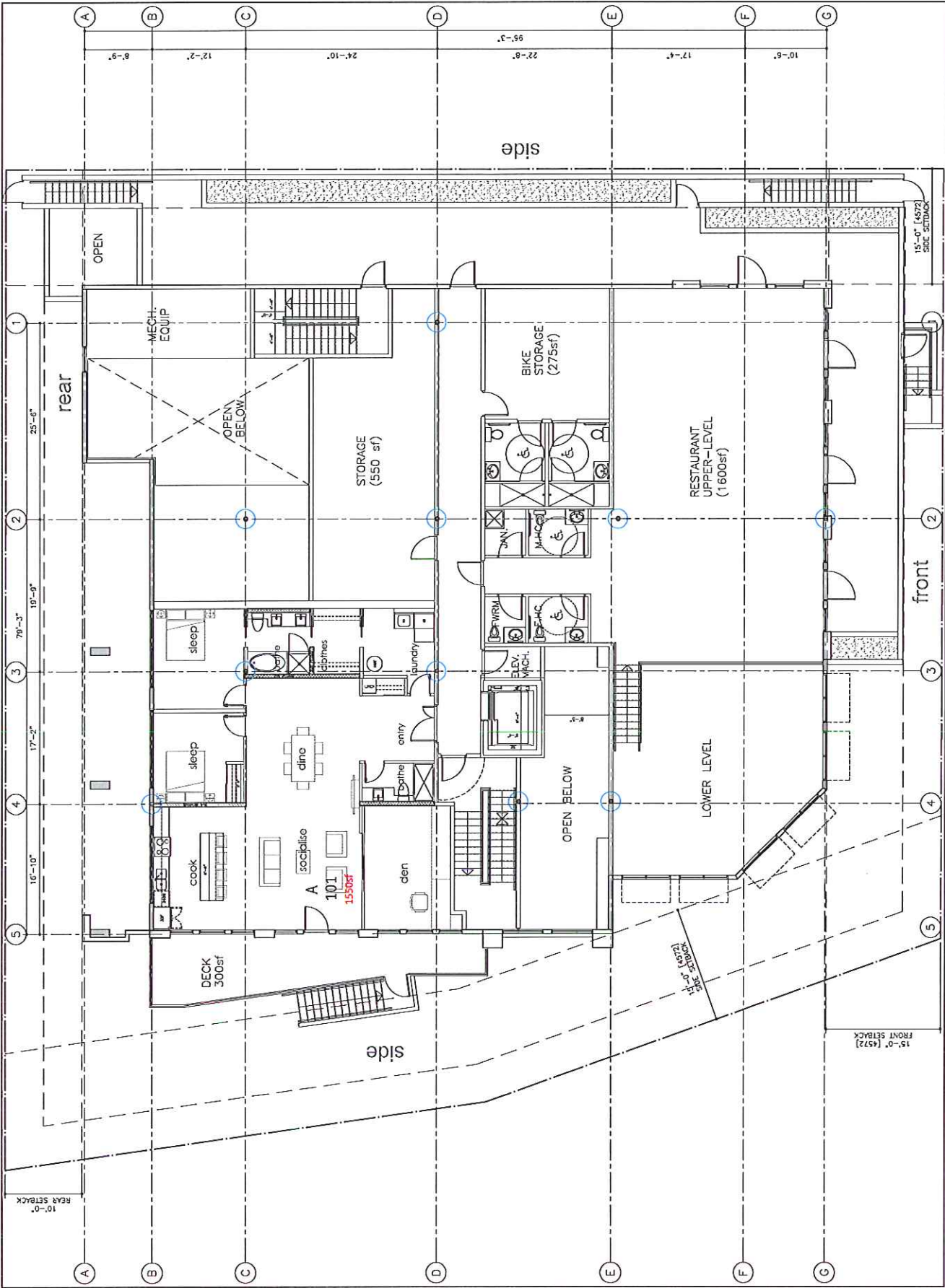
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 4-STORY MIXED-USE  
 BUILDING @ STRATHCOMA  
 WITH 4 CONDO UNITS

Drawing Number:  
 A3.02

Drawing Title:  
 1ST UPPER  
 FLOOR PLAN

Scale:  
 1/16" = 1'-0"

NO.	DATE	DESCRIPTION



10'-0" REAR SETBACK

15'-0" (4572) FRONT SETBACK

15'-0" (4572) SIDE SETBACK

181 MAIN STREET  
 PRINCEN, ILL.  
 TEL: 815.452.3153  
 FAX: 815.452.3218  
 WWW.M+M.COM  
 2135 GRAND AVENUE  
 PEPPER, ILL.  
 TEL: 815.452.3206  
 FAX: 815.452.3144



MEIKLEBORN ARCHITECTS, INC.

DP submit  
 2014-06-10



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No.	Revised	By	Date

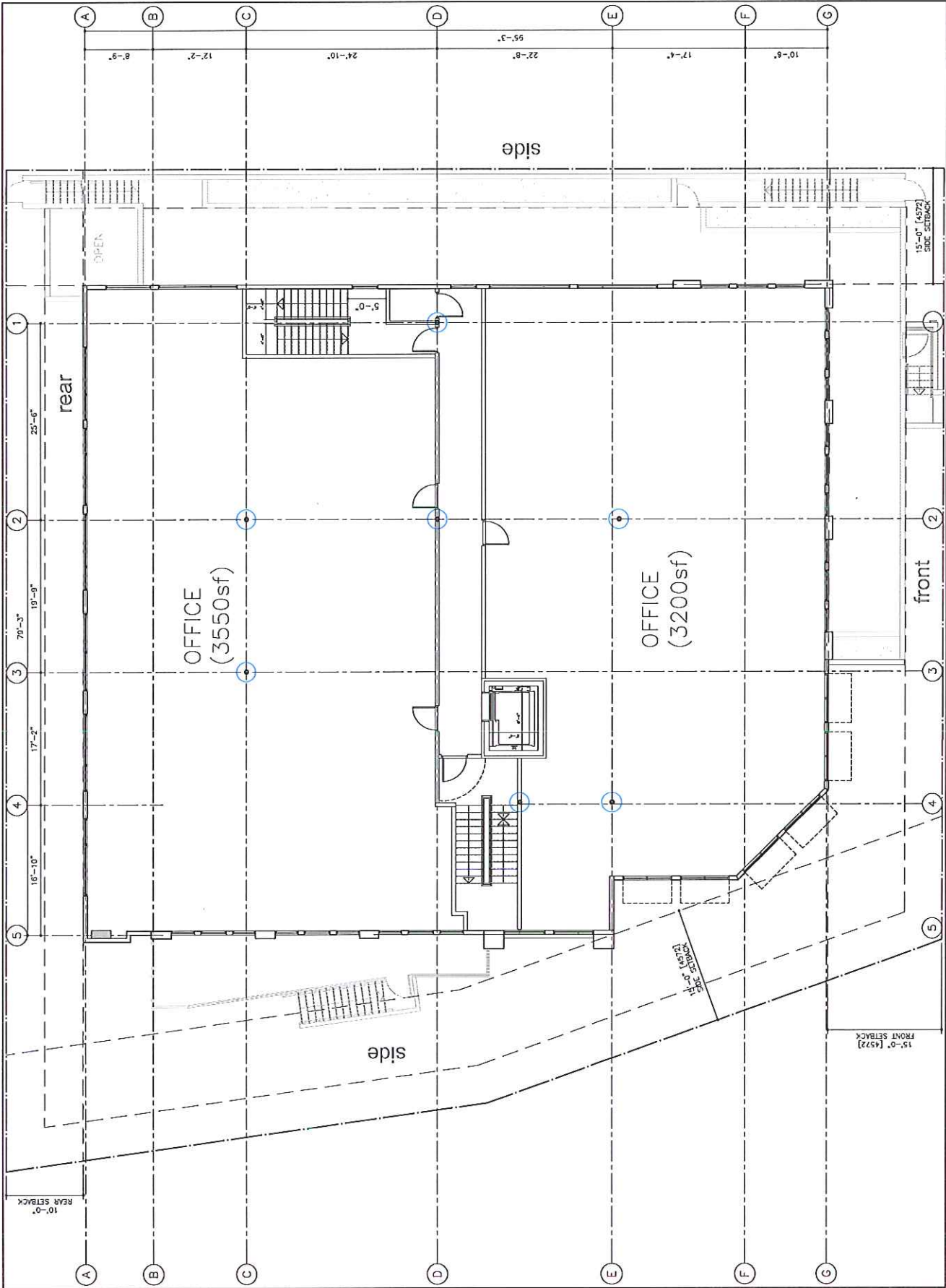
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 WITH 4 CONDO UNITS**  
 133 313 GRAND AVENUE, PEPPER, ILL. 61553  
 Drawing Number

**A3.03**

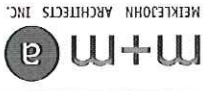
**2ND FLOOR PLAN**

scale 1/16" = 1'-0"

DATE	BY	SCALE



PROFESSIONAL SEAL  
 PROJECT NO. 14-0123  
 DATE: 06/10/14  
 ARCHITECT: MEKELEH ARCHITECTS INC.  
 1100 W. 10TH STREET, SUITE 100  
 ARLINGTON, VA 22204  
 TEL: 703.243.8800  
 FAX: 703.243.8801  
 WWW.MEKELEHARCHITECTS.COM



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 2014-06-10



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No.	Date	Revised

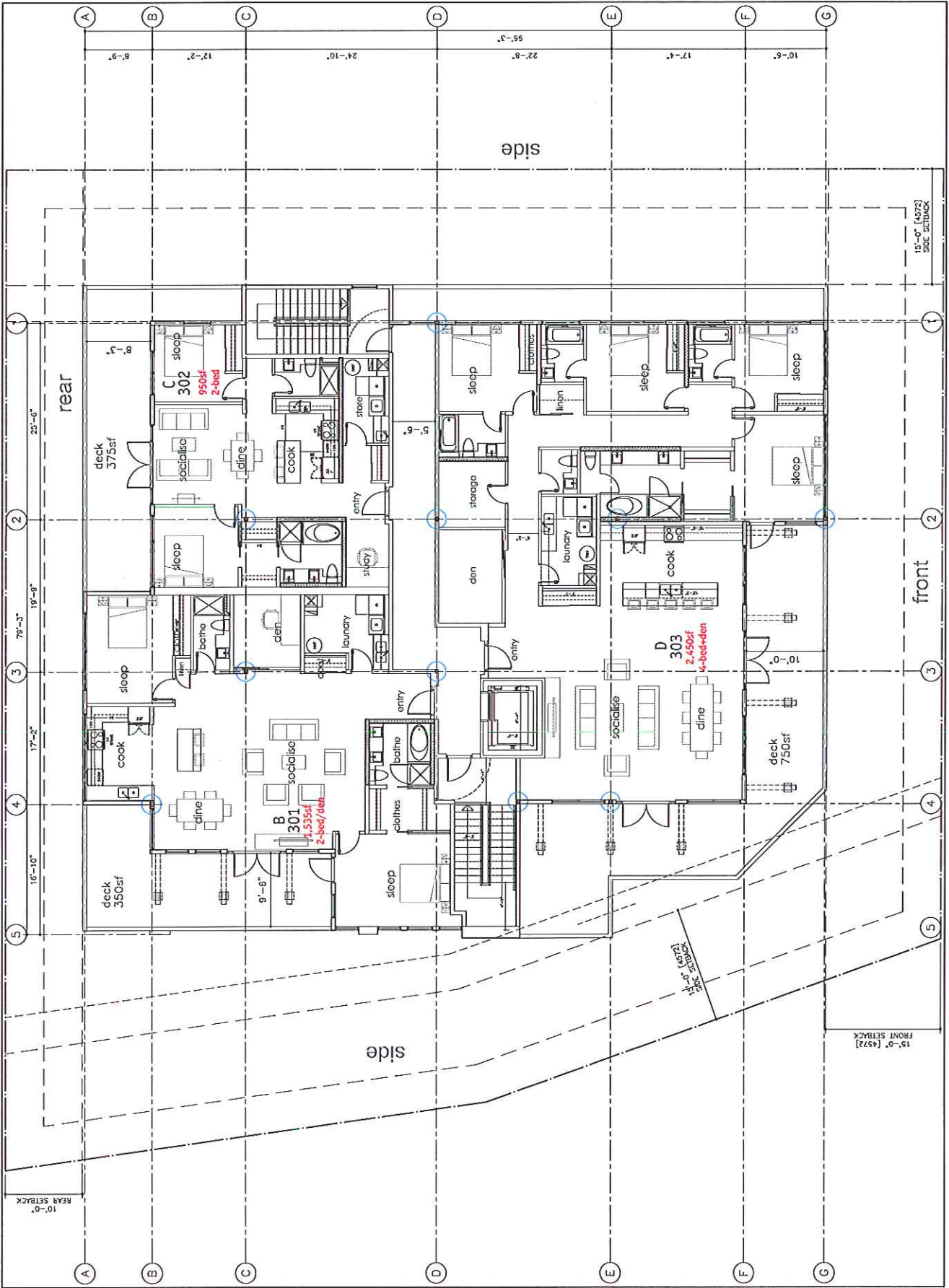
Project No. 14-0123  
 4-STORY MIXED-USE BUILDING @ STRATHCOMA WITH 4 CONDO UNITS

1100 W. 10TH STREET, ARLINGTON, VA 22204  
 Drawing Title: 3RD FLOOR PLAN

A3.04

Scale: 1/16" = 1'-0"

NO.	DATE	BY	CHKD.	APP.



10'-0" REAR SETBACK

15'-9" (492) FRONT SETBACK

15'-0" (457) SIDE SETBACK

15'-0" (457) SIDE SETBACK

rear

front

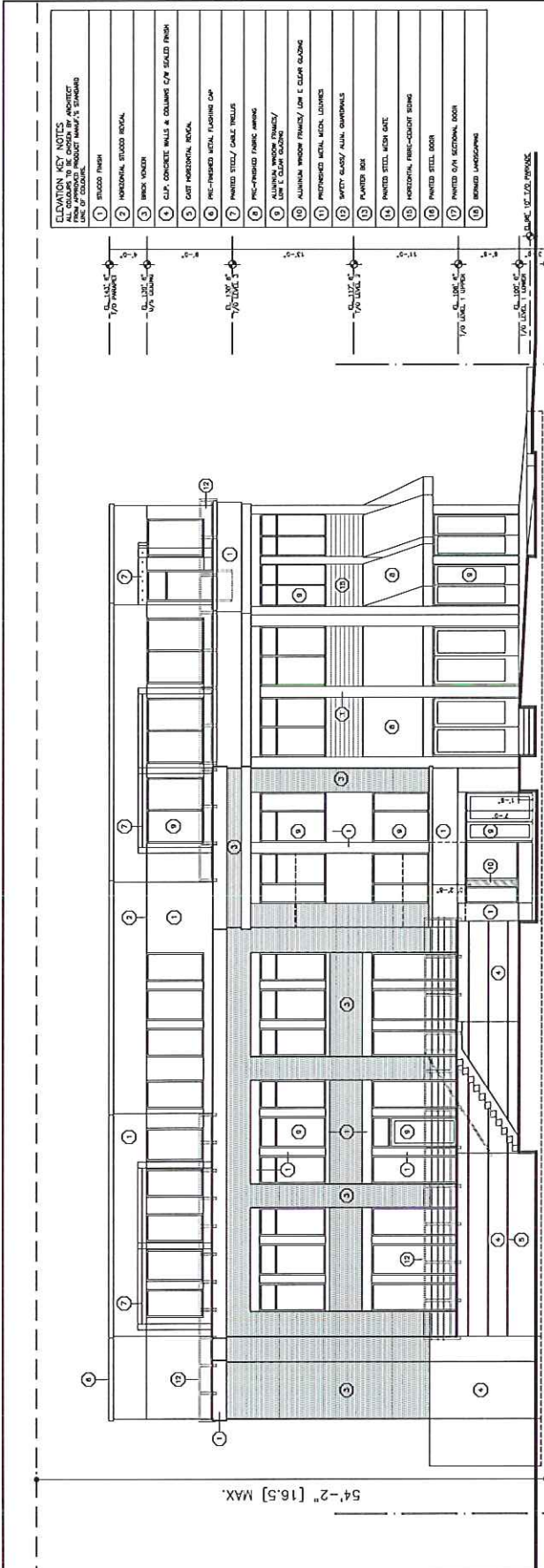
side

side

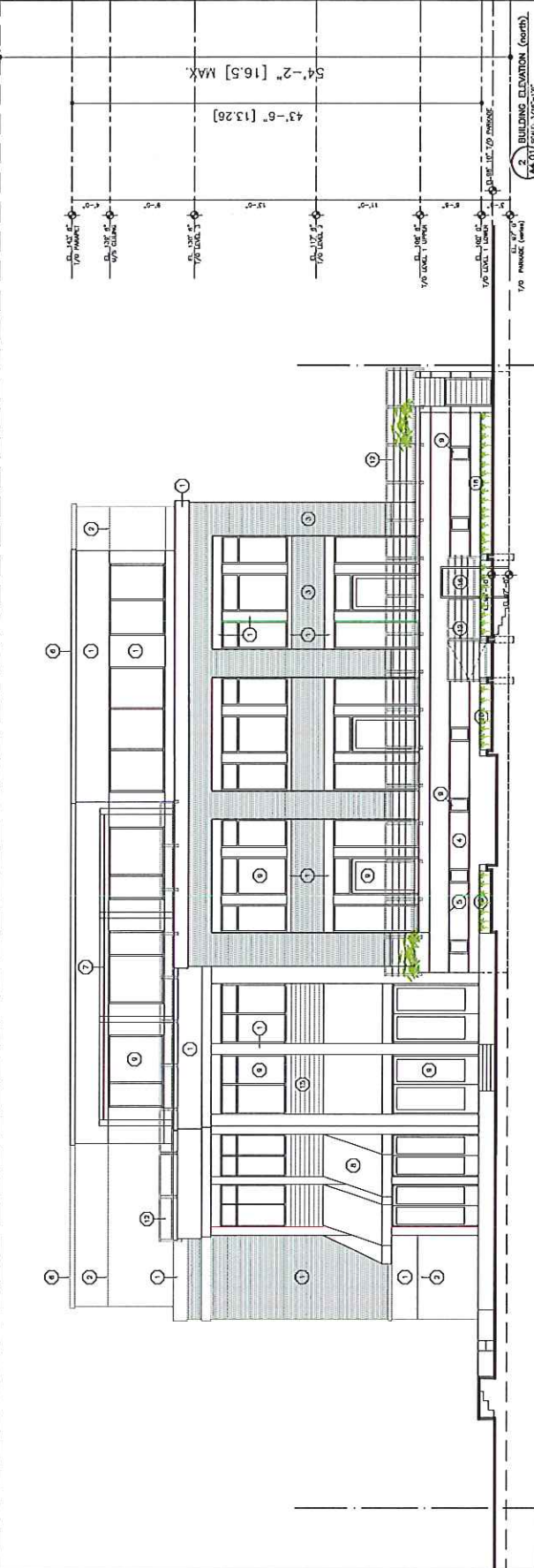
100 MAIN STREET  
 FREDRICK, M.D.  
 TEL: 301.462.2114  
 FAX: 301.462.2114  
 WWW.M+MARCHITECTS.COM



- ELEVATION KEY NOTES**  
 ALL DIMENSIONS TO BE COORDINATED BY ARCHITECT  
 TO MATCH EXISTING BUILDING ELEVATIONS  
 UNLESS OTHERWISE NOTED
- 1 BRICK VENEER
  - 2 HORIZONTAL BRICK VENEER
  - 3 BRICK VENEER
  - 4 C.P. CONCRETE WALLS & COLUMNS C/P BRICK FINISH
  - 5 CORE HORIZONTAL BRICK
  - 6 PRE-FINISHED METAL FLASHING CAP
  - 7 PAINTED STEEL / GALV. STEEL
  - 8 PRE-FINISHED FABRIC AWNING
  - 9 ALUMINUM WINDOW FRAME / LOW E CLEAR GLAZING
  - 10 ALUMINUM WINDOW FRAME / LOW E CLEAR GLAZING
  - 11 PREFINISHED METAL LINERS
  - 12 SPITTY GLASS / ALUM. OVERHEADS
  - 13 PAINTED METAL
  - 14 PAINTED STEEL MESH GATE
  - 15 HORIZONTAL, FIRE-RATED SIGN
  - 16 PAINTED STEEL DOOR
  - 17 PAINTED O/V SECTIONAL DOOR
  - 18 BRICK UNDERLAY



1 BUILDING ELEVATION (west)  
 (A4.01) SCALE 3/16"=1'-0"



2 BUILDING ELEVATION (south)  
 (A4.01) SCALE 3/16"=1'-0"

DP submit  
 2014-06-10

Consulting Architect: M+M Architects Inc.  
 100 Main Street, Frederick, MD 21701  
 Tel: 301.462.2114, Fax: 301.462.2114  
 www.m+m-architects.com

Project Name:  
 4-STORY MIXED-USE  
 BUILDING @ STRATHCONA  
 WITH 4 CONDO UNITS

100 MAIN STREET, FREDRICK, M.D. 21701  
 Drawing Number:

**A4.01**

DATE: 06/10/14  
 DRAWN BY: J. W. WILSON  
 CHECKED BY: A. J. WILSON  
 SCALE: 3/16"=1'-0"

NO.	REVISIONS	DATE

200 PINEBUSH STREET  
 WYOMING  
 10090  
 TEL: 302.441.1111  
 FAX: 302.441.0134  
 EMAIL: info@mm+a.com

**m+m**  
 MEIKLEJOHN ARCHITECTS INC.  
 1717 MARKET STREET  
 WYOMING  
 10001  
 TEL: 302.441.1111  
 FAX: 302.441.0134  
 EMAIL: info@mm+a.com

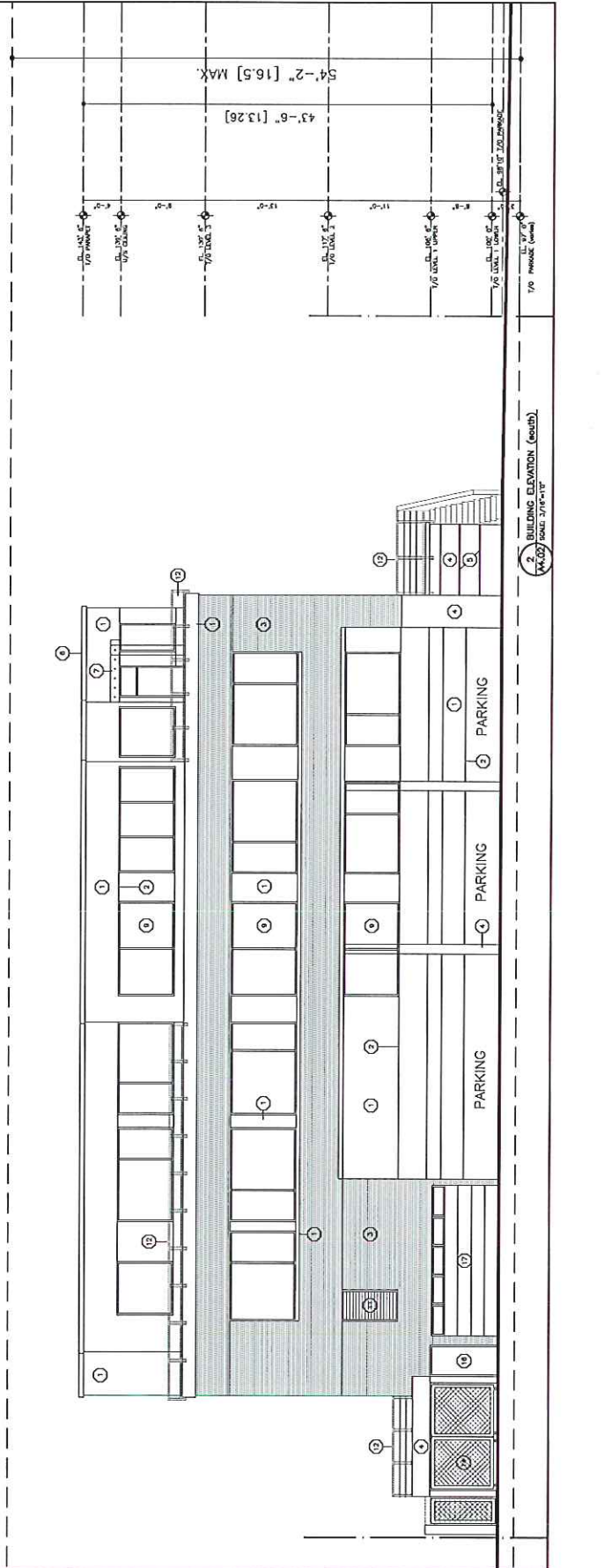
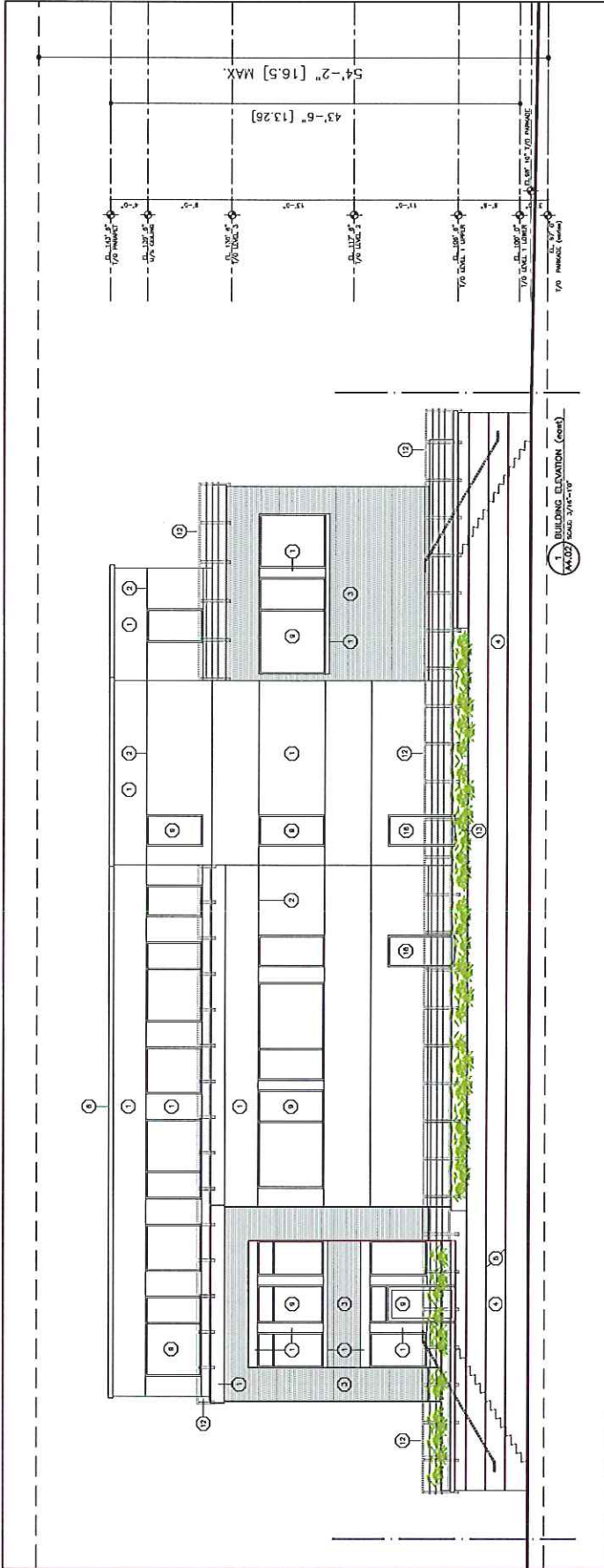
DP submit  
 2014-06-10

Project Title: 4-STORY MIXED-USE BUILDING @ STARBUCKS WITH 4 CONDO UNITS  
 100 S. STARBUCKS AVENUE, WYOMING, WY 10001  
 Drawing Number: A4.02

**A4.02**

DRAWING NO. A4.02  
 ALL DIMENSIONS SHALL BE VERIFIED ON-SITE  
 Drawing Title: BUILDING ELEVATIONS  
 scale 3/16"=1'-0"

DATE	REVISIONS



PROJECT NO. 14-0001  
 PROJECT NAME  
 PROJECT LOCATION  
 DATE: 06/10/14  
 DRAWING NO. A5.01  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1  
 DRAWN BY: J. M. [unreadable]  
 CHECKED BY: J. M. [unreadable]  
 APPROVED BY: J. M. [unreadable]



DP submit  
 2014-06-10

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NO.	DATE	DESCRIPTION	BY

PROJECT NAME  
 PROJECT LOCATION  
 DATE: 06/10/14  
 DRAWING NO. A5.01  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1  
 DRAWN BY: J. M. [unreadable]  
 CHECKED BY: J. M. [unreadable]  
 APPROVED BY: J. M. [unreadable]

PROJECT NO. 14-0001  
 PROJECT NAME  
 PROJECT LOCATION  
 DATE: 06/10/14  
 DRAWING NO. A5.01  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1  
 DRAWN BY: J. M. [unreadable]  
 CHECKED BY: J. M. [unreadable]  
 APPROVED BY: J. M. [unreadable]

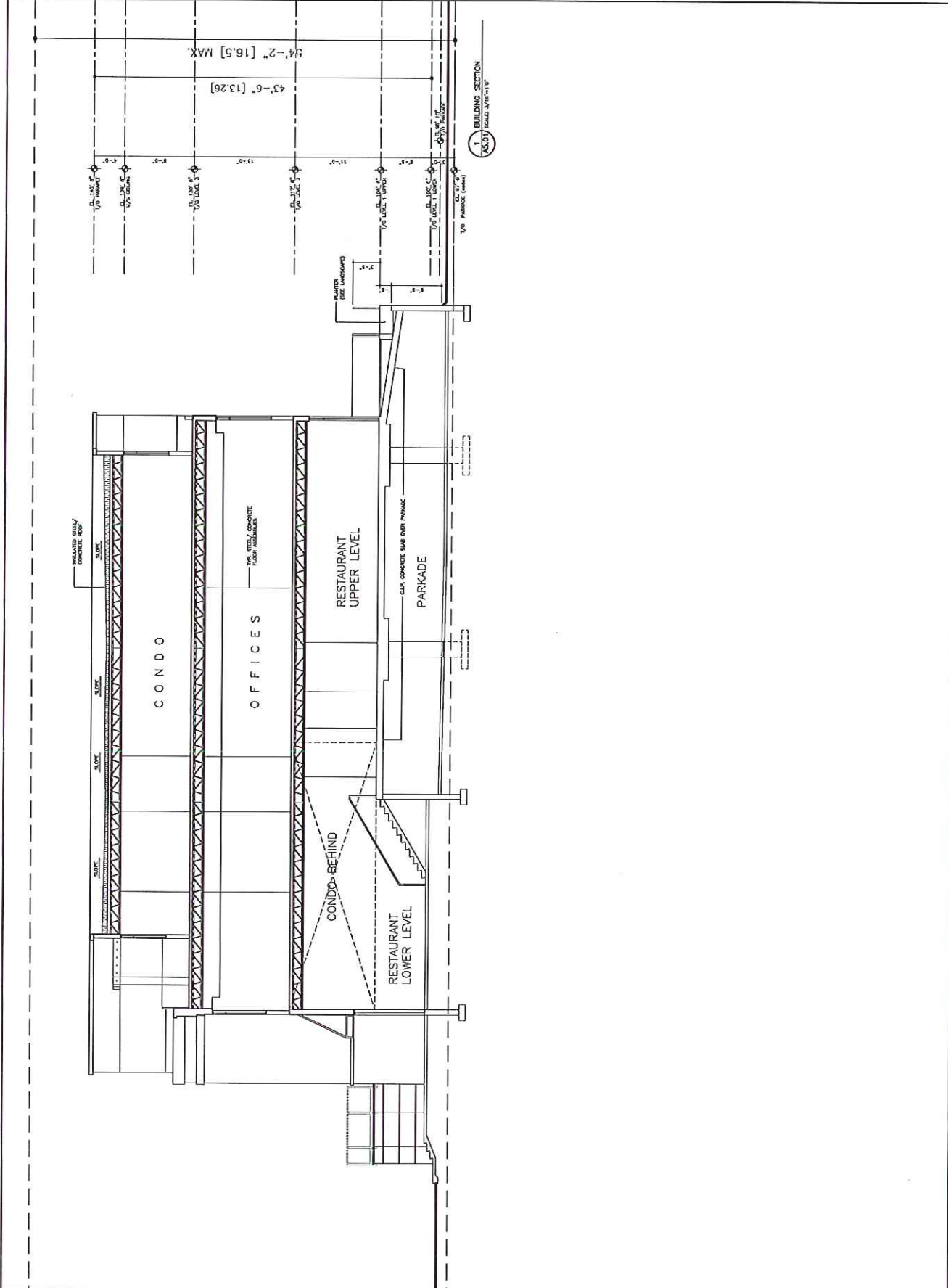
A5.01

MEIKLEOH ARCHITECTS INC.  
 ALL DIMENSIONS SHALL BE NOTED ON DRAWING

MEIKLEOH ARCHITECTS INC.  
 BUILDING SECTION

scale 3/16"=1'-0"

NO.	DATE	DESCRIPTION	BY





strathcona mixed-use building

corner view of Strathcona Ave/Abott St

June 10, 2014





m+m a

strathcona mixed-use building

view along Abbott St

June 10, 2014



m + m a

strathcona mixed-use building

view at corner of Abott St/Laneway

June 10, 2014



m + m 

strathcona mixed-use building

parking stalls at laneway

June 10, 2014

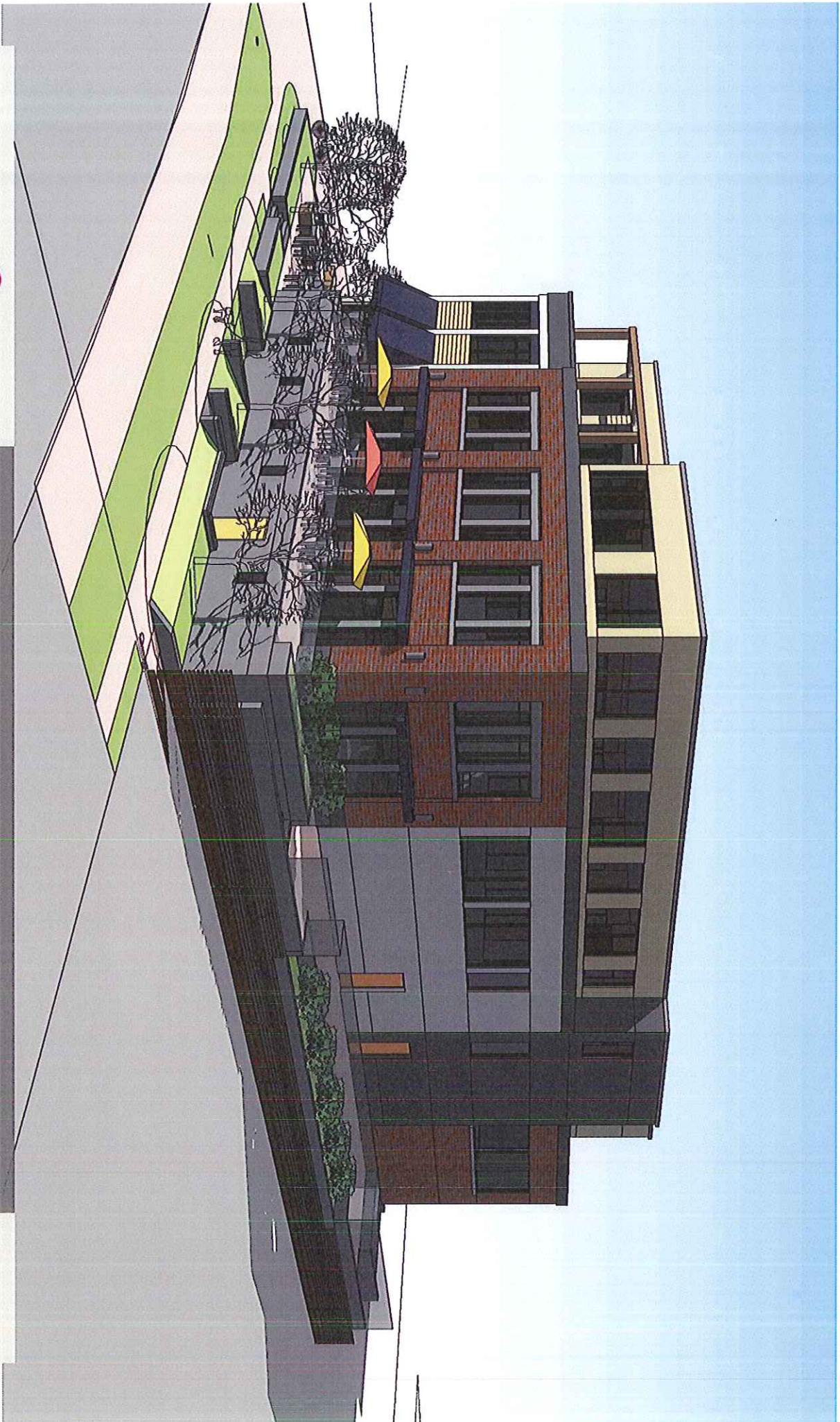


m + m 

strathcona mixed-use building

fence next to cancer lodge/laneway

June 10, 2014



m + m 

strathcona mixed-use building

restaurant upper deck/planter along fence

June 10, 2014



m + m 

strathcona mixed-use building

restaurant lower & upper deck

June 10, 2014



m + m  a

strathcona mixed-use building

condo main entrance along Abbott St

June 10, 2014



m + m a

strathcona mixed-use building

view along Abbott St

June 10, 2014





m + m a

strathcona mixed-use building

view along Abbott St

June 10, 2014



BM 2133-50 pigeon grey  
- stucco

BM 2133-60 sidewalk grey  
- stucco

horiz. hardie siding  
- ham's cream - JH80-10

BM AF-37's rattan  
- stucco

BM 2133-40 dlor grey  
- stucco

Brick - heritage brick

BM AF-555 mysterious  
- canopy



strathcona mixed-use building

material board

June 10, 2014



8. beach access along Royal Ave.



9. transformer/parking lot at laneway



10. beach access along Strathcona Ave.



11. Abbott St. and Rose Ave.



12. site along Strathcona Ave.



4. beach access from Strathcona



7. along Royal Ave.



6. corner of Royal Ave/Abbott St.



3. bike lane/sidewalk @ corner of Strathcona/Abbott



5. garden of cancer lodge



1. Strathcona parking lot



2. corner of Strathcona/Abbott

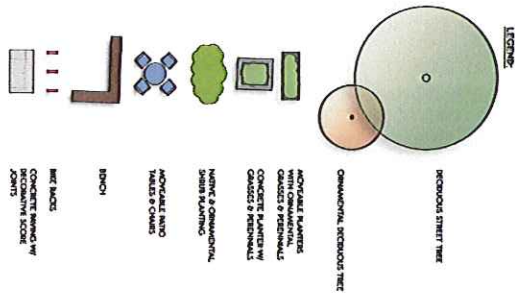


strathcona mixed-use building

site context

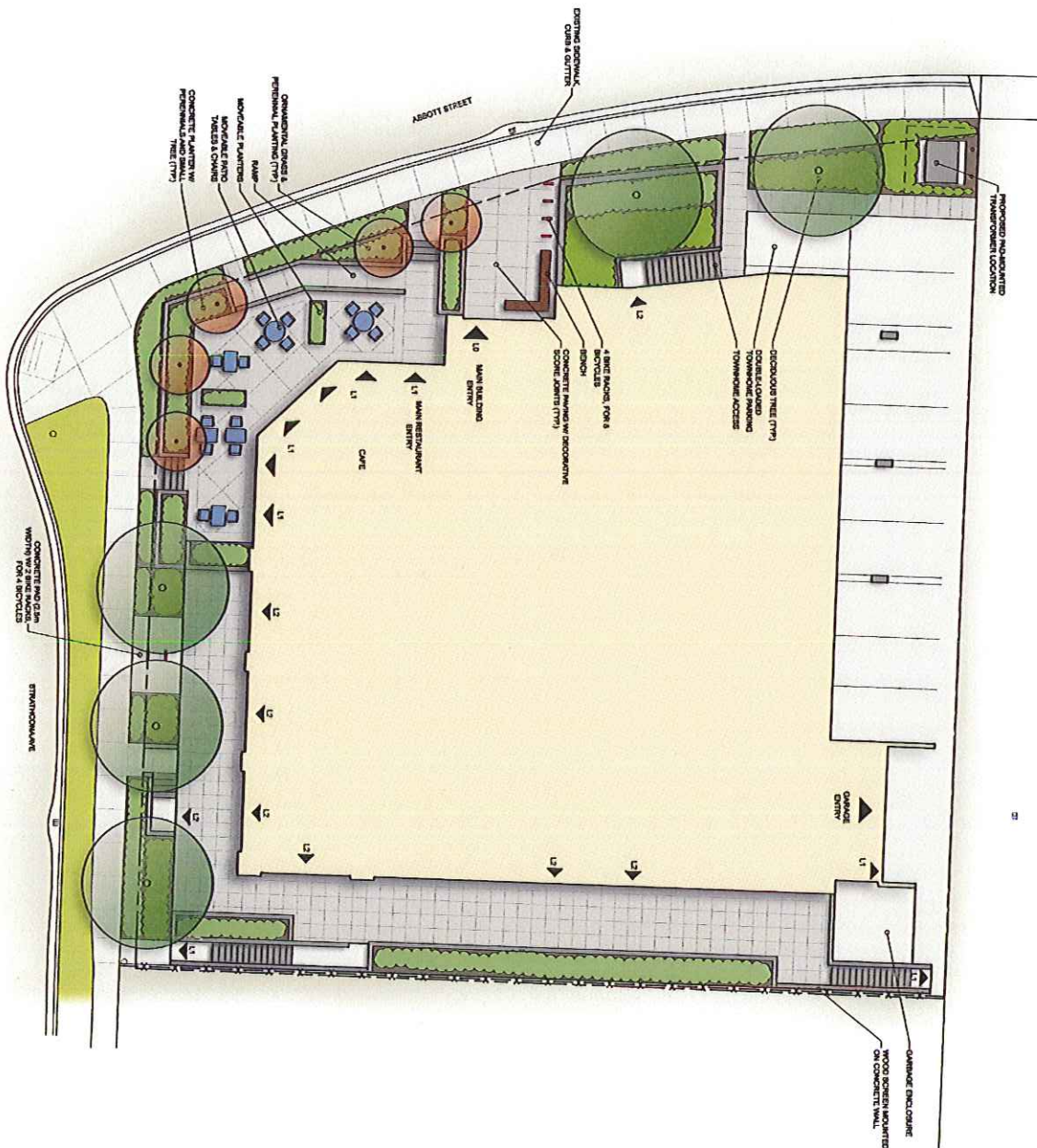
June 10, 2014

- PLANTING NOTES:**
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO REQUIREMENTS OF THE CITY OF CHICAGO, ILLINOIS, AND ILLINOIS PLANTING STANDARDS.
  2. CITY OF CHICAGO, ILLINOIS, AND ILLINOIS PLANTING STANDARDS SHALL BE REFERRED TO FOR ADDITIONAL INFORMATION ON PLANTING STANDARDS AND REQUIREMENTS.
  3. PLANT MATERIALS LISTED BELOW ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MUST BE MADE BY THE ARCHITECT AND LANDSCAPE ARCHITECT.
  4. LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANTING MATERIALS AND CONSTRUCTION METHODS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF CONSTRUCTION METHODS AND MATERIALS.
  5. PLANTING SHALL BE INSTALLED PER ALL PLANTING STANDARDS AND SHALL CONFORM TO THE CITY OF CHICAGO PLANTING STANDARDS REQUIREMENTS.



**ORNAIMENTAL PLANTING LIST:**

TREE	COMMON NAME	LANDSCAPE USE	PLANT	PLANT	PLANT
ORNAIMENTAL SPECIMEN TREE					
RECYCLED STREET TREE					
NON-TOXIC PLANT					
CONCRETE PLANTER W/ DECORATIVE AGGREGATE					
BENCH					
WET BASE					
CONCRETE RAMP W/ DECORATIVE AGGREGATE					
JOINT					



**PROJECT INFORMATION**

PROJECT: STRATCONA MIXED USE DEVELOPMENT  
 ARCHITECT: BENCH ARCHITECTS  
 DATE: 11/14/2014

**BENCH**  
 ARCHITECTS  
 1111 SOUTH WASHINGTON STREET, SUITE 200  
 CHICAGO, ILLINOIS 60605  
 TEL: 312.375.4600  
 WWW.BENCHARCHITECTS.COM

**CLIENT**  
 ONE HEATHER MARTIN INC.  
 CHICAGO, ILLINOIS

**PROJECT**  
 STRATCONA MIXED USE DEVELOPMENT  
 CHICAGO, ILLINOIS

**LANDSCAPE PLAN**  
 DATE: 11/14/2014  
 SCALE: 1"=20'

**SHEET NO.**  
 L-1